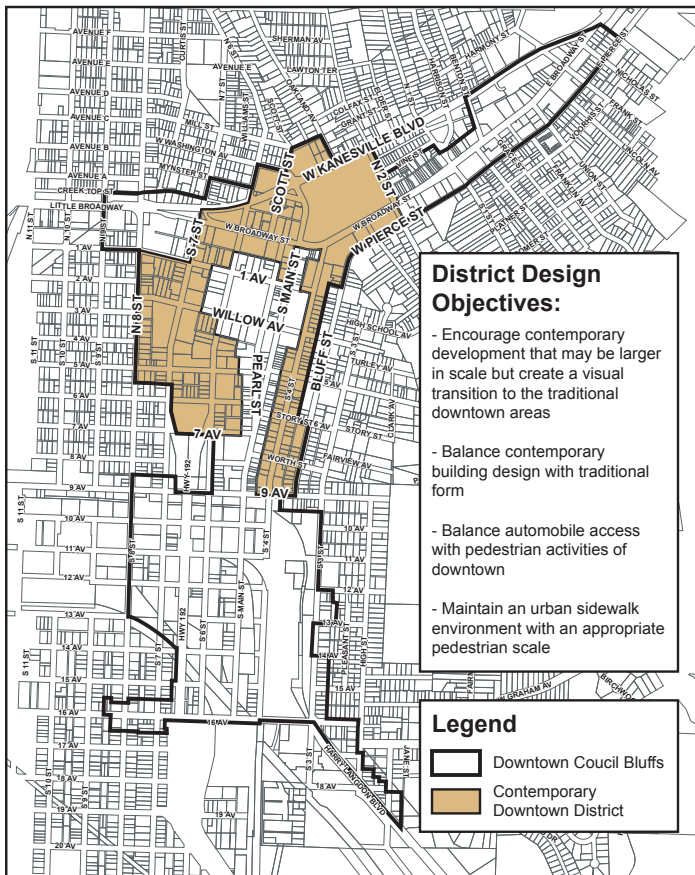


CONTEMPORARY DOWNTOWN DESIGN GUIDELINES

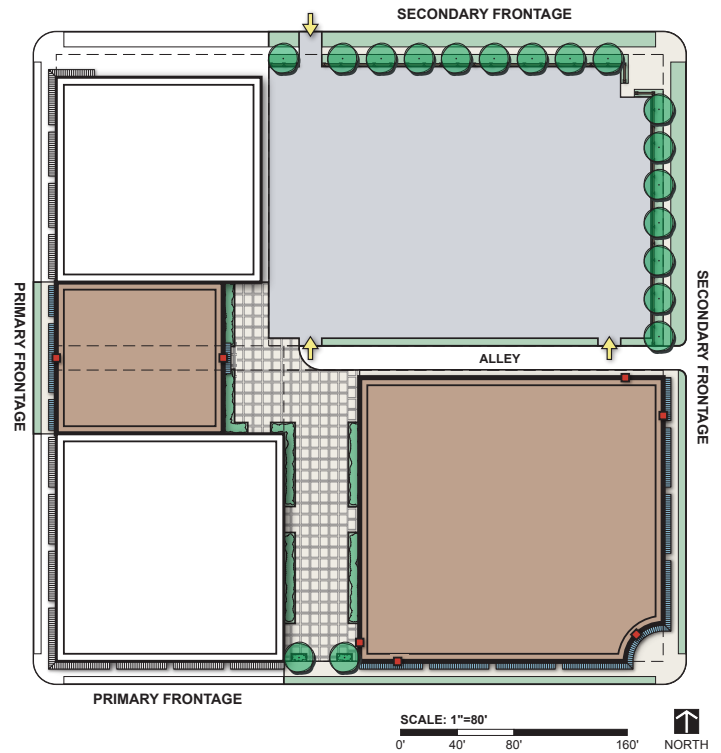
COUNCIL BLUFFS, IOWA

Contemporary Downtown District:



New development in the contemporary downtown district should successfully balance automotive access and pedestrian activity, as well as the relationship between modern design and traditional form. Building masses that create a pedestrian scale and the use of traditional elements at the sidewalk level can provide a consistent experience between the traditional and contemporary downtown areas.

Site Planning Principles:



Structures should be built to property line on primary frontage

Structures should be built to secondary frontage lines and corners where possible

Landscaped set backs may be used to provide public plaza space or pedestrian access to rear parking areas

Parking should be located along secondary frontage with access from secondary streets or alleys

Structured parking should be designed to reflect the architecture of the building it serves

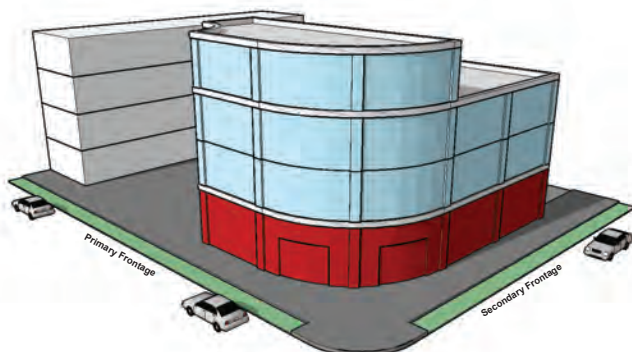
Encourage cross-access parking easements to reduce curb cuts and enhance circulation

Building entrances should be provided from primary frontage, with additional entrances from the secondary frontage and rear parking areas

Drive-thru activity may be provided and should be accessed from a secondary street where possible

Parking areas should be enclosed in decorative fencing and/or landscaping to maintain the sidewalk edge and enhance aesthetics

Scale & Massing Principles:



Create a scale consistent with existing structures on surrounding blocks

Concentrate mass on primary frontage to create street wall and sense of scale at the sidewalk

Step down the building height along the secondary frontage and rear of the building to reduce impact on adjacent properties

Use vertical architectural and massing elements to avoid large blank walls and create a pedestrian sidewalk scale (every 10-15 feet)

Use horizontal architectural and massing elements (cornices, signage and awning areas) to create an appropriate sidewalk scale

Architectural Standards

Design Expression:

- Overall building design and detail elements should reflect a vertical orientation consistent with traditional downtown design

- The design of ground floor facades should reflect traditional downtown forms by utilizing the following architectural elements and reinterpreting them in a contemporary architectural style:

- Knee wall
- Commercial window frontage
- Pilasters or columns
- Awning/signage zone
- Commercial cornice

- The spacing and rhythm of ground floor façade elements should correlate to upper story structural and aesthetic elements, and should create a sense of pedestrian scale and texture at the sidewalk

- Buildings should contain elements on upper floor facades that create a sense of scale, such as window detailing, recessed surfaces, etc.

- Large surfaces should be broken up by material contrast, fenestration, or architectural elements to create a sense of scale and avoid blank facades



Desirable Character



Undesirable Character

- Interesting forms and materials should be used to create texture and pedestrian scale



Desirable Character



Undesirable Character

- Ground floors should establish a pedestrian scale

Fenestration:

- Commercial facades should attain 45% fenestration (% fenestration = total window and door area, not including mullions, in the commercial frontage area/ commercial frontage area between the ground plane and the bottom of the awning/signage zone)

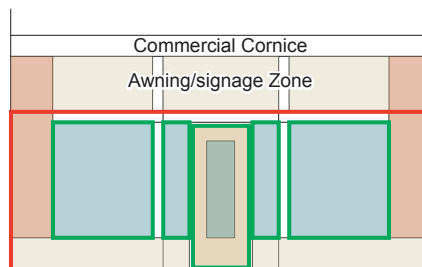
- Commercial window trim should be designed to compliment other exterior building details


- Commercial window panes should be recessed within the frames to create a texture along the sidewalk


- Upper story windows may be a variety of proportions, although a vertical orientation is encouraged to relate to the traditional downtown district

- Upper story windows should be recessed from the exterior façade to create texture and a sense of scale

- Upper story windows need not include design elements as seen in the traditional downtown (i.e. sills and hoods), but modern interpretations of these elements are encouraged to more closely relate contemporary development to traditional buildings



 Commercial Frontage - area of the elevation between building edges and from the ground plane to the bottom of the awning/signage zone

 Fenestration Area - total window and door area, not including mullions, in the commercial frontage zone

Measuring Fenestration



Desirable Character

Exterior Materials:

- Brick should be used for a portion of the building façade or its details to relate to the texture and character of the traditional downtown area
- Materials with low durability and high maintenance needs, such as EFIS or Dryvit, should be avoided, especially on the ground floor façades
- Façade elements may be made of modern building materials that reflect the contemporary character of the district
- Pre-fabricated building systems that result in large, plain surfaces should be avoided



Desirable Character



Undesirable Character

- Prefabricated materials generally lack texture and scale appropriate to downtown character

Side Façades:

- Side façades should be made out of materials consistent with the front façade of the building
- Where possible, commercial window frontage should continue along the side façades that are sited along or near property lines
- Side façades that abut sidewalks should include awnings, signage and lighting consistent with the primary frontage
- Side façades should include similar façade elements as the primary frontage:
 - Knee wall
 - Commercial window frontage
 - Awning/signage zone
 - Commercial cornice
 - Upper story façade
 - Upper story cornice
- Side façades should use design elements and details consistent with the front façade, especially in larger buildings where several façades may be seen simultaneously from a distance



Desirable Character



Undesirable Character

- Side façades should engage the street through transparency and pedestrian scale



Undesirable Character

- Building façades should engage the street and create a pedestrian scale with ground floor transparency, upper story windows and pedestrian elements

Architectural Standards

Rear Façades & Entrances:

- Rear façades should use design elements and details consistent with the front façade, especially in larger buildings where several façades may be seen simultaneously from a distance

- Rear façades should include design elements similar to the front façade to delineate ground floor lobbies or commercial activity from upper floor uses and create a sense of pedestrian scale

- Rear commercial entrances should provide direct and clearly marked pedestrian access from rear parking areas

- Rear entrances should include awning, signage, and/or lighting elements that reflect the design of the front façade

- The signage or awnings used on rear entrances should indicate the name of the ground floor businesses or primary tenants, and street address



Desirable Character



Undesirable Character

- Rear façades with consistent design elements and clearly marked entrances lessen the impact on surrounding neighborhoods

Signage:

- Ground-floor commercial signage should be located in the awning/signage zone on the primary or side façade

- Business logos for ground floor tenants may be incorporated into the design of ground floor awnings

- Ground floor commercial signage should be at a size appropriate for pedestrian legibility and walking pace

- Signs that include moving parts or animated lights should be avoided

- Stand-alone site signage (i.e. monument signs, parking directional signs) at site or parking access points should be designed to reflect the building's architecture in terms of materials and details

- Stand-alone site signage should be low-profile so as to not overwhelm the perception of the building from the sidewalk or street



Desirable Character



Desirable Character



Desirable Character



Undesirable Character

- Sign areas and design should be incorporated into façade design and be compatible with building architecture

Awnings:

- Awnings are encouraged at the ground floor, especially on larger buildings where the building alone does not define an appropriate pedestrian scale at the sidewalk
- Awnings may be made out of fabric or metal, and may be retractable or permanent
- Awning design should reflect the general character of the building design, and should be installed at a height consistent with surrounding buildings and traditional design.



Desirable Character



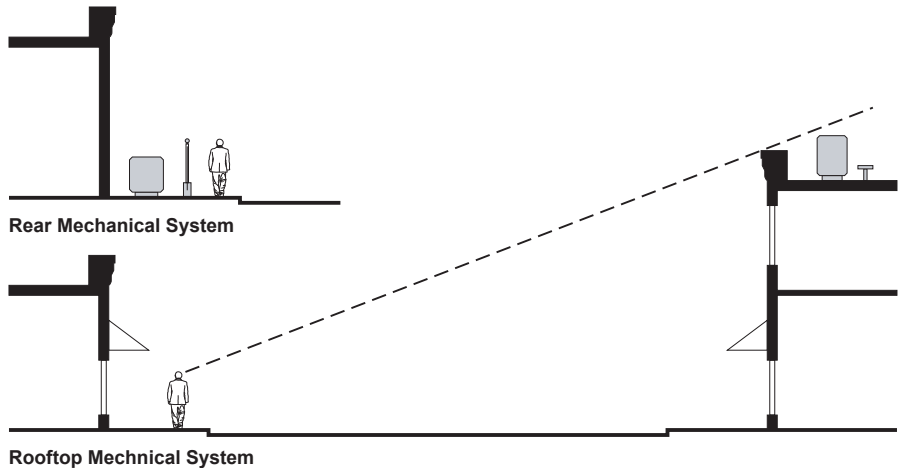
Desirable Character



Desirable Character

Utility & Mechanical:

- Building HVAC systems should be placed on roof tops and invisible from the front sidewalk, or at grade behind the building and fenced in with an enclosure that reflects the design of the building
- Whenever possible, utility meters should be located so that they are not visible from front or side sidewalks
- Any ventilation vents that must be outlet through an exterior wall should be placed on the rear façade, if possible
- Any ventilation vents that must be visible from the front or side sidewalk due to interior building design or operations should be designed to appear as a decorative element

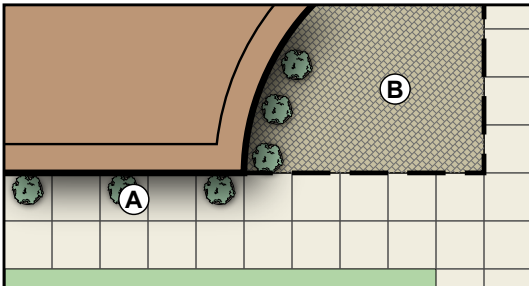


Landscape Standards

Typical Landscape Area Plan



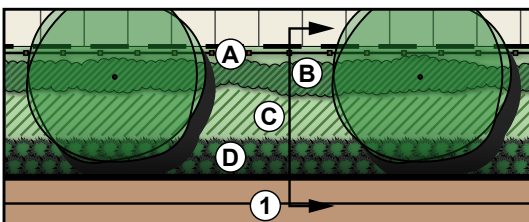
Building Frontage Landscape Area:



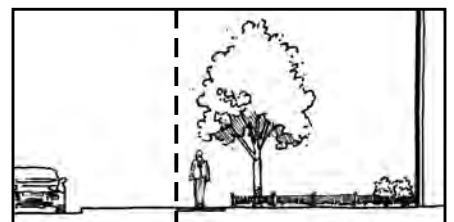
- (A) Seasonal planters are permitted along building edge, no permanent installations in public walks
- (B) Decorative paving pattern



Building Edge Landscape Area:

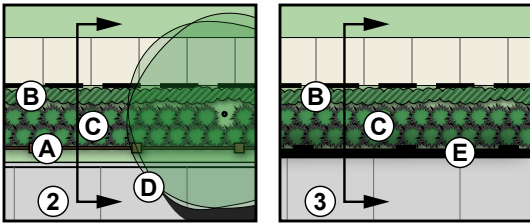


- (A) 18" ornamental fence
- (B) 5' width for groundcover with Large Deciduous Trees 25' O.C. (optional along alleys or rear sidewalks where space allows)
- (C) Groundcover (width varies)
- (D) 4' wide min. Low Hedge row



Section 1

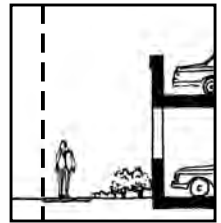
Secondary Street Landscape Area:



- (A) 4' ornamental fence along surface parking lots
- (B) 2' min. width for groundcover
- (C) 4' wide min. Low Hedge row
- (D) Large Deciduous Trees 25' O.C. along surface parking lots
- (E) Parking Structures

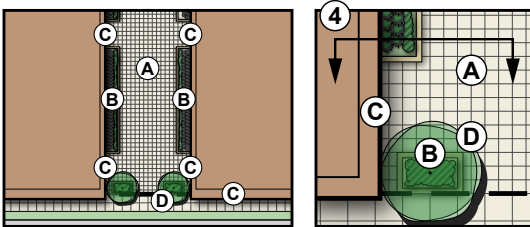


Section 2



Section 3

Plaza Area:

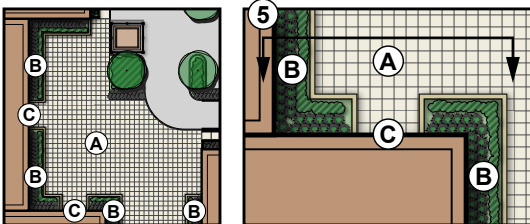


- (A) Decorative paving pattern
- (B) 2' high min. Raised Planter with 4' wide min. Low Hedge row and 2' min. width for groundcover
- (C) Building access points
- (D) Small Ornamental Trees at Plaza Area entrance

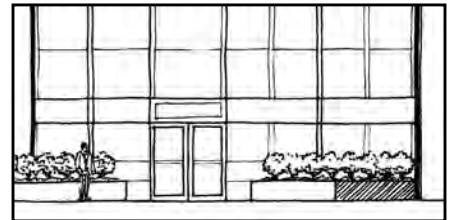


Section 4

Rear Building Access Area:

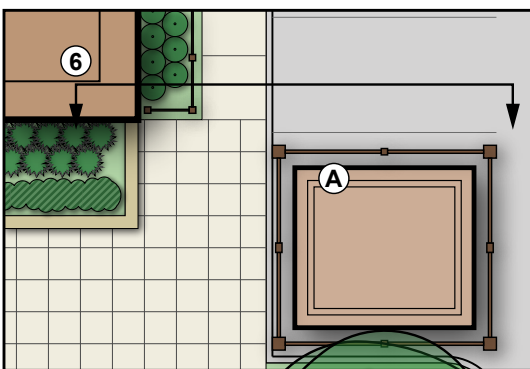


- (A) Decorative paving pattern
- (B) 2' high min. Raised Planter with 4' wide min. Low Hedge row and 2' min. width for groundcover
- (C) Building access points

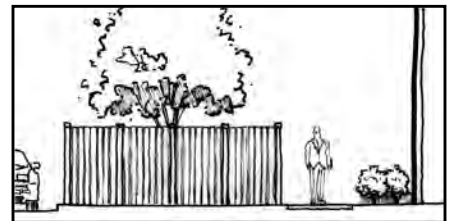


Section 5

Rear Frontage Landscape Area:

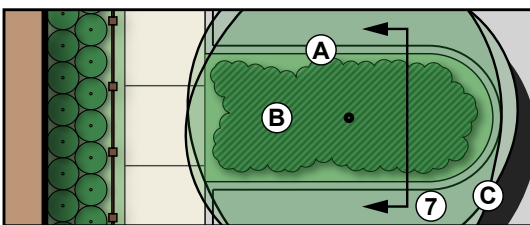


- (A) 6' screen around exterior utilities or dumpster designed with materials that match architecture of building
- (B) 6' screen around exterior utilities or dumpster designed with materials that match architecture of building

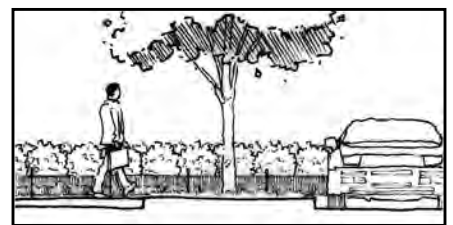


Section 6

Parking Island:



- (A) 6" curb raised from parking lot grade
- (B) 5' min. width for groundcover
- (C) 1 Large Shade Tree per 125 s.f. of Parking Island Area



Section 7

Landscape Materials

Plant List:

Large Deciduous Trees

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
AFC		Acer	x freemani 'Celzam'	Celebration Freeman Maple	2" cal.	40'
COC		Celtis	occidentalis	Hackberry	2" cal.	40'
FAA		Fraxinus	americana 'Autumn Purple'	White Ash	2" cal.	40'
FPP		Fraxinus	pennsylvanica 'Patmore'	Patmore Ash	2" cal.	40'
FPS		Fraxinus	pennsylvanica 'Summit'	Summit Ash	2" cal.	40'
GTS		Gleditsia	triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2" cal.	40'
GTI		Gleditsia	triacanthos inermis 'Skyline'	Skyline Honeylocust	2" cal.	40'
QBI		Quercus	bicolor	Swamp White Oak	2" cal.	40'
QMA		Quercus	macrocarpa	Bur Oak	2" cal.	40'
QBO		Quercus	borealis	Northern Red Oak	2" cal.	40'
TAR		Tilia	americana 'Redmond'	Redmond Linden	2" cal.	40'
TCG		Tilia	cordata 'Greenspire'	Littleleaf Linden	2" cal.	40'
UCH		Ulmus	carpinifolia 'Homestead'	Homestead Elm	2" cal.	40'

Small Ornamental Trees

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
AGI		Acer	ginnala	Amur Maple	6' ht.	15'
		Amelachier	(various species)	Serviceberry varieties	6' ht.	15'
CCA		Cercis	canadensis	Eastern Redbud	1 1/2" cal.	15'
		Crataegus	(various species)	Hawthorn varieties	1 1/2" cal.	25'
		Malus	(various species)	Crabapple varieties	1 1/2" cal.	15'
		Prunus	(various species)	Cherry varieties	1 1/2" cal.	20'
SRI		Syringa	reticulata 'Ivory Silk'	Ivory Silk Japa	1 1/2" cal.	20'

Evergreen Trees

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
ACO		Abies	concolor	White Fir	6' ht.	20'
PGD		Picea	glauca 'Densata'	Black Hills Spruce	6' ht.	20'
PPG		Picea	pungens 'Glaucua'	Colorado Spruce	6' ht.	20'
PNI		Picea	nigra	Austrian Pine	6' ht.	20'
PME		Pseudotsuga	menziesii	Douglas Fir	6' ht.	20'

Low Deciduous Shrubs

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
CSK		Cornus	sercea 'Kelsey'	Kelsey's Redtwig Dogwood	15"	3' O.C.
FAD		Forsythia	Arnold 'Dwarf'	Arnold's Dwarf Forsythia	15"	3' O.C.
PFA		Potentilla	fruticosa 'Abbottswood'	Abbottswood Potentilla	15"	3' O.C.
PFT		Potentilla	fruticosa 'Tangerine'	Tangerine Potentilla	15"	3' O.C.
SBA		Spirea	bumalda 'Anthony Waterer'	Anthony Waterer Spirea	18"	4' O.C.
SBF		Spirea	bumalda 'Froebelli'	Froebel's Spirea	18"	4' O.C.
SJS		Spirea	japonica 'Shibori'	Shibori Japanese Spirea	18"	4' O.C.
SIC		Stephanadra	incisa 'Crispa'	Crispa Stephanandra	18"	4' O.C.
SCH		Symphoricarpos	x chenault 'Hancock'	Hancock Snowberry	18"	4' O.C.
VON		Viburnum	opulus 'Nana'	Dwarf European Cran. Viburnum	18"	4' O.C.

Low Evergreen Shrubs

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
JHB		Juniperus	horizontalis 'Blue Chip'	Blue Chip Juniper	18"	
JHP		Juniperus	horizontalis 'plumosa'	Andorra Juniper	18"	
JST		Juniperus	sabina 'Tamariscifolia'	Tam Juniper	18"	

Deciduous Shrubs_Low Hedges

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
CSI		Cornus	sericea 'Isanti'	Isanti Redtwig Dogwood	24"	3' O.C.
EAC		Euonymus	alatus 'Compactus'	Dwarf Winged Euonymus	24"	4' O.C.
FIL		Forsythia	x intermedia 'Lynwood Gold'	Lynwood Gold Forsythia	24"	4' O.C.
SNS		Spirea	nipponica 'Snowmound'	Snowmound Nippon Spirea	24"	3' O.C.
SCH		Symphoricarpos	x chenaultii	Chenault Coralberry	24"	4' O.C.
SPM		Syringa	patula 'Miss Kim'	Miss Kim Lilac	24"	4' O.C.
VJU		Viburnum	carlesii	Korean Spice Viburnum	24"	4' O.C.
VTs		Viburnum	trilobum 'Compactum'	Dwarf American Cranberrybush	24"	3' O.C.

Evergreen Shrubs_Low Hedges

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
TMD		Taxus	x media 'Densiflora'	Dense Yew	24"	3' O.C.

Deciduous Shrubs_Tall Hedges

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
AAL		Amelanchier	alnifolia	Saskatoon Serviceberry	36"	4' O.C.
AAR		Caragana	arborescens	Siberian Peashrub	36"	4' O.C.
CAC		Ligustrum	obustifolium 'Regelianum'	Regal Privet	36"	4' O.C.
LOR		Syringa	vulgaris varieties	Lilac varieties	36"	4' O.C.
VTR		Viburnum	trilobum	American Cranberrybush Viburnum	36"	4' O.C.
VLA		Viburnum	latana	Nannyberry	36"	4' O.C.

Evergreen Shrubs_Tall Hedges

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
JSC		Juniperus	chinensis 'Spartan'	Spartan Upright Juniper	4'	4' O.C.
TMH		Taxus	x media 'Hicksii'	Hicks Yew	4'	4' O.C.
TOD		Thuja	occidentalis 'Nigra'	Dar Green American Arborvitae	4'	4' O.C.

Groundcovers

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
EFS		Euonymus	fortunei var. 'Coloratus'	Purple Wintercreeper Euonymus	1 qt.	12" o.c.
GOS		Galium	odoratum	Sweet Woodruff	Grow-Plug	12" O.C.
HEI		Hedera	helix	English Ivy	Grow-Plug	12" O.C.
PTJ		Pachysandra	terminalis	Japanese Pachysandra	Grow-Plug	12" O.C.
VMP		Vinca	minor	Periwinkle	4" pot	12" o.c.

Perennials & Annuals

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
ATS		Asclepias	tuberosa	Butterfly Weed	Grow-Plug	18" o.c.
ALP		Aster	laevis	Smooth Blue Aster	4" pot	12" o.c.
		Hemerocallis	'Stella de Oro'	Stella de Oro' Daylily	1 qt.	12" o.c.
HMP		Heuchera	micrantha 'Palace Purple'	Palace Purple Coralbells	Grow-Plug	12" O.C.
HSE		Hosta	sieboldiana 'Elegans'	Elegans' Hosta	Grow-Plug	30" O.C.
LSG		Liatris	spicata	Gayfeather	Grow-Plug	12" O.C.
RFB		Rudbeckia	fulgida 'Goldstrum'	Black-eyed Susan	1 gal.	18" o.c.
SMN		Salvia	nemorosa 'May Night'	May Night Salvia'	1 gal.	24" o.c.
SAJ		Sedum	spectabile 'Autumn Joy'	Autumn Joy Stonecrop	1 gal.	24" o.c.
VSS		Veronica	spicata	Speedwell	1 gal.	12" o.c.
SC		Seasonal Color		Annuals	Square Feet	To Be Determined

Landscape Materials

Ornamental Fencing:

- Property line fencing should be used to beautify parking areas abutting the public right-of-way
- Fencing should reinforce the urban wall that is created by existing buildings
- The design and materials used for ornamental fencing should compliment the primary building and surrounding structures



Desirable Character



Desirable Character



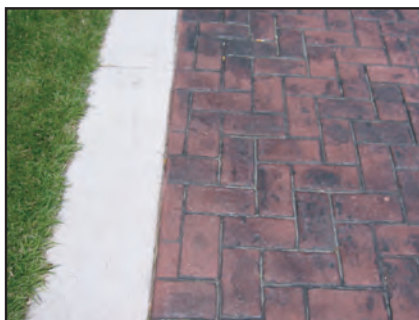
Desirable Character

Decorative Pavers:

- Pavers should be used to identify significant outdoor spaces
- The type of paver should compliment the design of the primary building and create texture and contrast against public sidewalks
- Paver materials and details should compliment the public streetscape palette when possible



Desirable Character



Desirable Character



Desirable Character

Planters:

- Raised planters should be used in open spaces to direct pedestrian flow through the plaza and to parking lots and building entrances
- Planters should be designed and landscaped to create comfortable seating and gathering areas
- The design of planters should compliment the character of the building and/or plaza in which they are located



Desirable Character



Desirable Character



Desirable Character

APPENDIX A

Design Submittal Requirements

The following drawings or material samples must be provided in order to adequately assess the quality of a design proposal:

Site Plan illustrating:

- Primary and secondary frontage streets
- Existing or proposed alleys
- Property line
- Minimum/maximum setback lines
- Proposed building setback
- Setback of adjacent existing buildings
- Building access points
- Parking location and access
- On-site pedestrian circulation and access

Building Elevations identifying:

- Materials
- Detail treatments
- Adjacent building context

Typical Wall Section showing:

- Proposed commercial storefront elements
- Proposed upper story elements
- Window recesses and framing elements
- Roof line and parapet screen

Awning and Signage Plan indicating:

- Location of awning and signage zone
- Planned allowable signage areas
- Dimensions of signage areas
- Awning design and materials

Landscape Area Plan illustrating:

- Coded landscape areas as per the Design Guidelines

Landscape Plan identifying:

- Proposed landscape and hardscape treatments within each landscape area
- List of plant materials
- List of hardscape materials
- Sample illustrations or photographs of hardscape elements

APPENDIX B

Design Checklist

Site Planning, Massing, and Parking

Site Planning and Access	Zero setback on primary frontage	
	Zero setback on secondary frontage	
	Building access from primary sidewalk	
	Building access from secondary frontage	
	Building access from rear parking area or alley	
	Setbacks used to create public plaza spaces (bonus)	
Parking Access	Parking located away from primary frontage	
	Cross-access easements with adjacent parking areas	
	Parking accessed from secondary frontage or rear alley	
	If applicable, drive-thru access provided off secondary frontage or alley	
Design Expression	Sidewalk scale consistent with surrounding buildings	
	Mass is concentrated on primary frontage to create street wall and scale	
	Building steps down along secondary frontage	
	Façade articulation through the use of vertical elements (every 10-15 feet)	
	Horizontal elements are used to create sense of scale	
	Ground floor rhythm correlates to upper story articulation	
	Utility areas screened	

Architectural Design

Primary Commercial Storefront	Knee wall		
	Decorative pilasters		
	Fenestration area-45%		
	Awning & signage zone		
	Commercial cornice		
	Windows recessed min. 2" from pilasters		
	Decorative door		
Primary Upper Story Façade	Windows with min. 1:1.5 vertical proportion		
	Window panes recessed min. 2" from facade		
	Decorative hoods and sills		
	Decorative roofline cornice		
Side Façade (if applicable)	Knee wall		
	Decorative pilasters		
	Fenestration area-45% in commercial window area		
	Awning & signage zone		
	Commercial cornice		
	Storefront windows recessed min. 2" from pilasters		
	Decorative door		
	Upper story windows with min. 1:1.5 vertical proportion		
	Upper story window panes recessed min. 2" from facade		
	Upper story windows have decorative hoods and sills		
Decorative roofline cornice			
Rear Façade	Rear entry is clearly signed		
	Awning is provided at rear entry		
	Lighting is provided at rear entry		
	Clear path is designated from rear alley to entry		
	Knee wall		
	Upper story windows with min. 1:1.5 vertical proportion		
	Upper story window panes recessed min. 2" from facade		
Awnings and Signage	Wall Signage	One wall sign per tenant per street frontage	
		Signage fits within the awning/signage zone	
		Signage area height is 18"-24" tall	
		Total signage area is less than 18 sq. ft. per 25' of building frontage	
		Side façade signage area is less than 18 sq. ft. (if applicable)	
	Projection Signage	Signage projects less than 6' from the building façade	
		Min. vertical ground clearance of 10'	
		Total signage area is less that 30 sq. ft.	
	Ground & Monument Signage	Signage is less than 4' tall along the public sidewalk	
		Signage is less than 8' tall in interior portions of the site	
		Signage is made of a material that reflects the building design	
		Signage includes complimentary landscaping at its base	
	Window Signage	Business name or logo adhered to window	
Max. window signage area of 5 sq. ft. per street frontage			
Awnings	Awning design reflects the general character of the building		
	Awnings match adjacent buildings in elevation		

APPENDIX B

Design Checklist

Building Materials

Commercial Storefront	<i>Desirable</i>	Knee wall-poured concrete	
		Decorative pilasters-match overall building design	
		Windows-non-reflective, non-tinted	
		Awnings-fabric, metal, or decorative glass	
	<i>Undesirable</i>	Decorative door-wood or decorative glass	
		Reflective glass	
		Fiberglass or EIFS pilasters, trim or kneewall	
		Back-lit awnings	
Upper Story Façade	<i>Desirable</i>	Non-decorative metal frame door	
		Brick, finished stone masonry units, or decorative steel	
		Windows-non-reflective, non-tinted	
		Window frames-wood or metal	
	<i>Undesirable</i>	Decorative hoods and sills-match façade materials	
		Faux-brick façade finishes	
		Synthetic façade finishes (EIFS, stucco)	
		Horizontal or vertical slat siding	
Side Façade (if applicable)	<i>Desirable</i>	Shingle finishes	
		CMU	
		Natural or smooth stone finishes	
		Reflective glass	
	<i>Undesirable</i>	Consistent with commercial storefront	
		Consistent with upper story façade	
		Synthetic façade finishes (EIFS, stucco)	
		Horizontal or vertical slat siding	
Rear Façade	<i>Desirable</i>	Shingle finishes	
		CMU	
		Natural or smooth stone finishes	
		Reflective glass	
	<i>Undesirable</i>	Consistent with commercial storefront	
		Consistent with upper story façade	
		Synthetic façade finishes (EIFS, stucco)	
		Horizontal or vertical slat siding	

Landscape Design

Building Frontage Landscape Area	Seasonal planters	
	Decorative paving pattern in entry recess	
Building Edge Landscape Area	18" ornamental fence	
	5' width for groundcover and large deciduous trees 25' O.C.	
	Ground cover (width varies	
	4' wide min. low hedge row	
Secondary Street Landscape Area (if applicable)	Appropriate plant materials used	
	4' ornamental fence along parking areas	
	2' min. width for groundcover	
	4' wide min. low hedge row	
Plaza Area	Large deciduous trees at 25' O.C. along surface parking lots	
	Appropriate plant and fence materials used	
	Decorative paving pattern	
	2' high min. raised planter with 4' min. width low hedge row and 2' min. width for groundcover	
Rear Building Access Area	Small ornamental trees at plaza entrance from public sidewalk	
	Appropriate plant and fence materials used	
	Decorative paving pattern	
Utility/Dumpster Area	2' high min. raised planter with 4' min. width low hedge row and 2' min. width for groundcover	
	Appropriate plant and screen materials used	
Parking Islands	6' screen around exterior utilities or dumpster	
	Screen designed with materials that compliment or match building design	
Parking Islands	6" curb raised from parking lot grade	
	5' min. width for groundcover	
	1 large deciduous tree per 125 sq. ft. of parking island area	
	Appropriate plant materials used	

APPENDIX C

Glossary of Terms

awning, back lit – lighting from within or behind an awning that illuminates portions of the awning surface

awning and signage zone – the portion of a commercial storefront from the top of the commercial window frame to the bottom of the commercial cornice

commercial cornice – horizontal decorative element dividing a building façade between the commercial frontage and the upper story façade, typically located immediately above the awning and signage zone

commercial frontage – the portion of the commercial storefront from the ground plane to the top of the commercial window frame, typically identified by the top of the door frame

concrete masonry unit (CMU) – any precast concrete block used for the construction of a building wall or surface

decorative paver – any modular stone or brick unit used to construct a walking or plaza surface

Dryvit – brand name manufacturer of EIFS

Exterior insulation and finish system (EIFS) – also called synthetic stucco, a synthetic exterior finish system used in lieu of traditional stucco or poured concrete building finishes

faux-brick façade finish – prefabricated panels designed to resemble real brick finishes, often resulting in façade seams

hood, window – decorative façade trim at the top of an exterior window

knee wall – also called a flood wall, an exterior building element at the base of a commercial storefront, typically 18”-24” tall and made of poured concrete or stucco

manufacturing/warehouse facility – the portion of an industrial facility dedicated to the production and/or storage of goods

minimum allowable setback – the minimum setback as defined for a particular parcel according to the municipal zoning ordinance

office or guest facility – the portion of an industrial facility dedicated to administrative, customer services, or office functions

ornamental fence – decorative physical barrier made of materials and designed in a way that reflects the character of the associated building or surrounding buildings and landscaping

pilaster – decorative vertical elements used to subdivide a façade, typically used to frame window areas, doors, or the structural grid of a building

pole sign – exterior freestanding site signage used to identify commercial tenants or parking areas, with a signage area supported by one or two columns

primary frontage – the portion of a site or building most directly related to and providing access from an arterial street or thoroughfare of high visibility

primary sidewalk – the public sidewalk running along an arterial or primary thoroughfare and providing most direct access to a building's primary frontage

projecting sign – a sign that identifies a commercial tenant or parking area, and is attached to the façade of a building, projecting out from the façade over the public sidewalk, typically perpendicular to the façade of the building

raised planter – landscaped area, typically enclosed by brick, stone or poured concrete and raised 6" to 24" above the ground plane, used to delineate pedestrian or vehicular circulation areas within a site

roofline cornice – horizontal decorative element at the roofline of a building, sometimes projecting out from the building façade 6"-12"

screening fence – opaque barrier used to provide a visual buffer between properties or structures

seasonal planters – temporary planter pots or boxes that may be dismantled or stored during the cold portions of the year

secondary frontage – the portion of a site or building most directly related to a side street or thoroughfare of relatively low visibility

stone finish, natural – façade finish made of naturally shaped stones with a dramatic texture and variant on stone shapes

stone finish, smooth – façade finish made of naturally shaped stones with a smooth texture and variant on stone shapes

stone masonry unit – precut modular units made of natural mineral rocks (i.e. granite or marble) and used as façade finishes or decorative elements

upper story façade – portion of a façade between the top of the commercial cornice and the bottom of the roofline cornice

wall sign – a sign identifying a commercial tenant or parking area, that is mounted on the façade of a building in such a way that the signage area does not project over the public sidewalk

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1228 S. Main St
Council Bluffs, IA 51503
(712) 396 - 2494
www.the712initiative.org

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