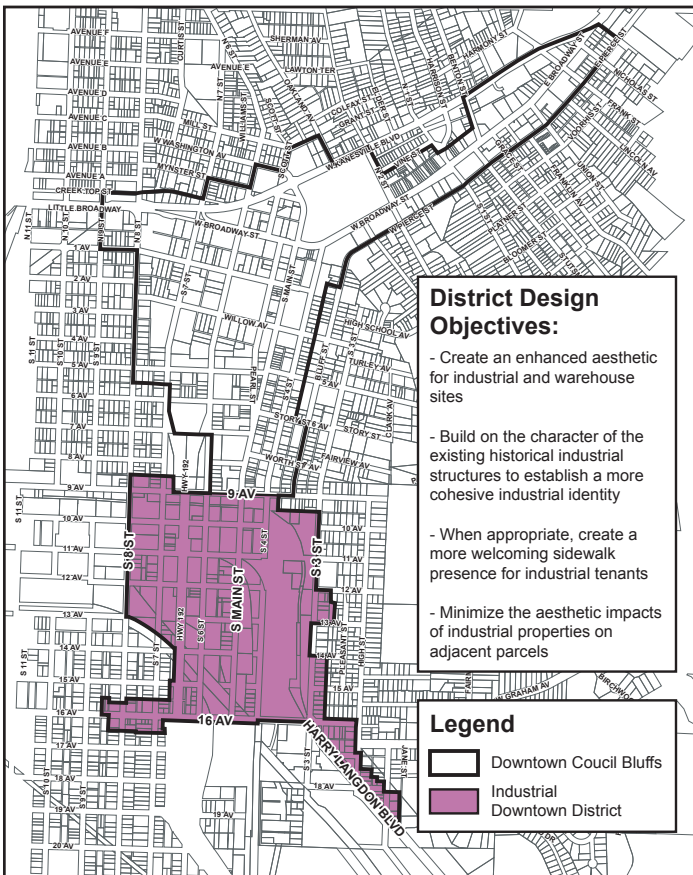


# INDUSTRIAL DISTRICT

## COUNCIL BLUFFS, IOWA

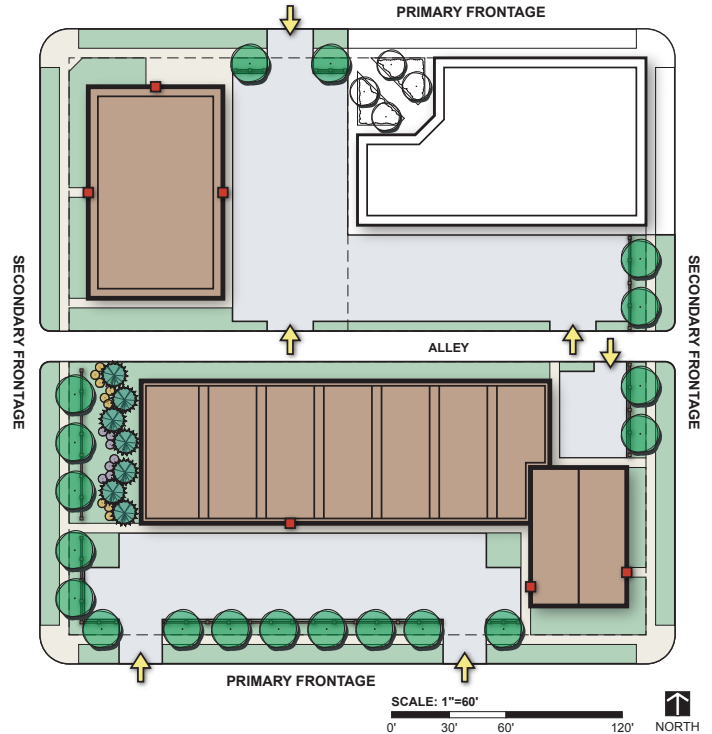
# DESIGN GUIDELINES

### Industrial District:



***New development in the industrial district should mitigate the impacts of uses on surrounding neighbors and create a more welcoming environment for visitors. Building location, screening, façade design and architectural detail all play a role in creating an attractive street environment within the context of industrial uses***

### Site Planning Principles:



Office or guest facilities should be built to the minimum allowable set back to more directly address the street

Manufacturing and warehouse structures may be set back towards the center of the site to minimize impact on adjacent parcels

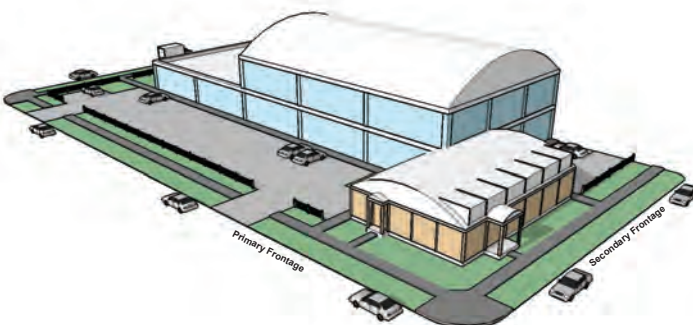
Encourage parking access from secondary streets

Provide direct access to office or guest facilities from street frontage and parking areas

Provide decorative fencing or landscaping along parking areas to create a sidewalk edge and protect pedestrians

Create landscaping buffers between manufacturing/warehouse structures and adjacent properties

### Scale & Massing Principles:



Where possible, vary roofline elevations to minimize profile and create interest

Use massing and architectural elements to minimize the impact of large blank exterior walls

Use flat or low-profile roofs to minimize visual impact on adjacent parcels

For office/guest facilities:

Use massing and architectural elements to create a pedestrian scale similar to downtown districts

Use materials and architectural elements that create interest and reflect an office aesthetic

Identify entrances through articulated doorways easily visible from the sidewalk and parking areas

# Architectural Standards

## Design Expression:

-Office or customer service areas, generally more visible from the public right-of-way, should use architectural elements that provide a sense of pedestrian scale and texture, including

- Knee wall
- Office window frontage
- Articulated entrances or eave overhangs
- Exterior window details

-Manufacturing areas that are less visible from public right-of-way may be relatively plain in design and details, but large flat surfaces should be avoided by using façade elements such as structural columns, aesthetic applications, or changes in materials

-More visible industrial structures should be encouraged to reflect the historic industrial buildings in the district by using brick and concrete construction, decorative detailing, and traditional window and façade detailing



Desirable Character



Desirable Character

## Fenestration:

-Sidewalk facades on more visible or public structures should be as transparent as possible where appropriate

-Public entrances should be clearly articulated and visible from the adjacent public right-of-way

-Windows should include details that reflect the building's architecture and enhance the sense of human scale and texture



Desirable Character



Desirable Character

### Exterior Materials:

-Traditional industrial building materials, such as brick and poured concrete, are encouraged

-More visible structures may use materials that capture an industrial feel (i.e. metal, poured concrete, etc.), but these materials should be used in a way that creates texture and detail on the facades

-All-metal buildings or storage sheds are prohibited, and the use of decorative metals should be limited to 50% of the area of the elevation area of any facade

-Less visible facade may use cost-efficient or prefabricated materials, but facade elements should be applied to break up the material and planar monotony of these building systems

-Decorative fencing around the site should reflect the design of the more visible building areas and free-standing signs in terms of materials and details



Desirable Character



Desirable Character

### Side Façades:

-Side facades visible from public sidewalks should include similar façade elements as the primary frontage:

- Knee wall
- Office window frontage
- Articulated entrances or eave overhangs
- Exterior window details

-Where possible, office window frontage should continue along the side facades that are sited along or near property lines

-Side facades visible from public sidewalks should include building details consistent with the primary frontage



Desirable Character



Desirable Character



# Architectural Standards

## Rear Façades & Entrances:

-Rear façades visible from public sidewalks should include building details consistent with the primary frontage

-Rear entrances should clearly indicate industrial operators and be adequately lit for safety and security



Desirable Character



Desirable Character

## Signage:

- Building-mounted signage should be incorporated into the design of the façade through framing elements, a clearly delineated signage zone, or within an architectural feature

- Building-mounted signage should reflect the character of the public structure in terms of material and style

- Stand-alone signage (i.e. monument signs, parking directional signs) should be designed to reflect the architecture of the public structure and decorative fencing in terms of materials and details

- Stand-alone site signage should be low-profile so as to not overwhelm the human scale of the public right-of-way



Desirable Character



Desirable Character



Desirable Character

### Awnings:

- Awnings are encouraged at the ground floor, especially on larger buildings where the building alone does not define an appropriate pedestrian scale at the sidewalk
- Awnings may be made out of fabric or metal, and may be retractable or permanent
- Awning design should reflect the general character of the building design, and should be installed at a height consistent with surrounding buildings and traditional design



Desirable Character



Desirable Character



Desirable Character

### Utility & Mechanical:

- Building HVAC systems should be placed on roof tops and invisible from the front sidewalk, or at grade behind the building and fenced in with an enclosure that reflects the design of the building
- Industrial waste output elements (i.e. Chimneys, smokestacks, etc.) should be placed close together where possible and encased with a screening structure to create a cleaner silhouette
- Facility loading areas should be screened from the public right-of-way on the primary and secondary frontage by landscape or built screening immediately around the loading area



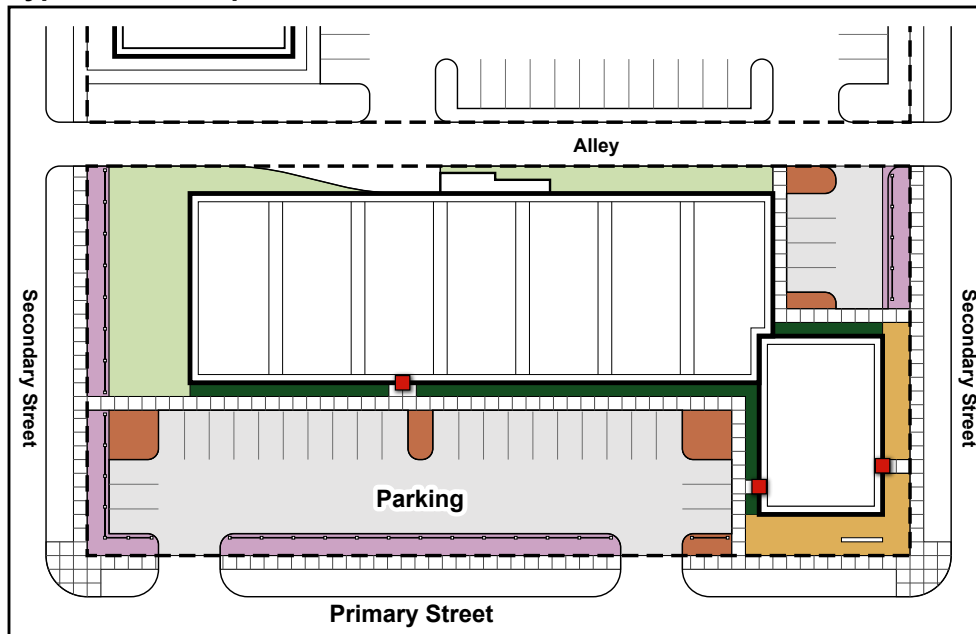
Desirable Character










Desirable Character

# Landscape Standards

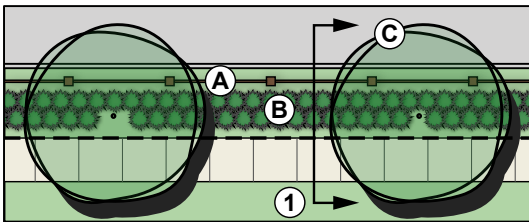
## Typical Landscape Area Plan



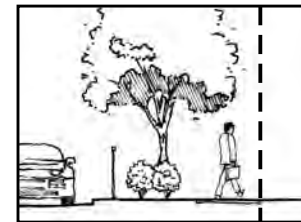
### Legend

-  Manufacturing/Warehouse Frontage Landscape Area
-  Office Frontage Landscape Area
-  Building Edge Landscape Area
-  Buffer Yard Landscape Area
-  Parking Islands
-  Building Access Points
-  Property Line

### Manufacturing/Warehouse Frontage Landscape Area:

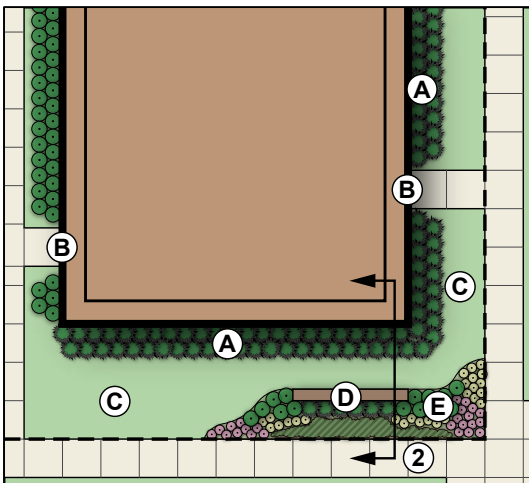


- (A) 6' ornamental fence
- (B) 4' wide min. Low Hedge row
- (C) Large Deciduous Trees 25' O.C.

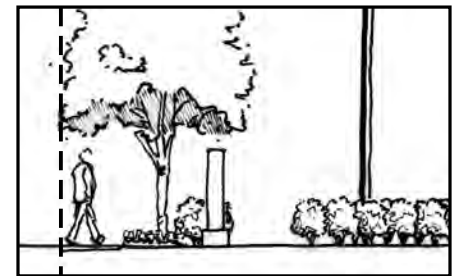


Section 1

### Office Frontage Landscape Area:

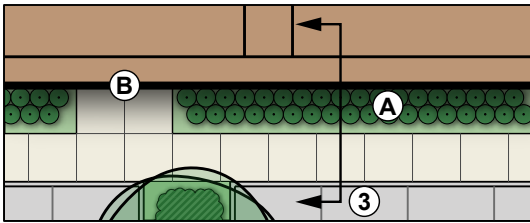


- (A) 4' wide min. Low Hedge row
- (B) Building access points
- (C) Turf lawn areas
- (D) 8' max. ground/monument sign
- (E) Signage planting area with Low Hedge row, groundcover, and/or perennials

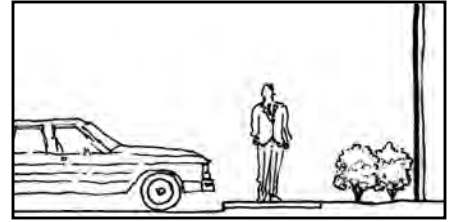


Section 2

### Building Edge Landscape Area:

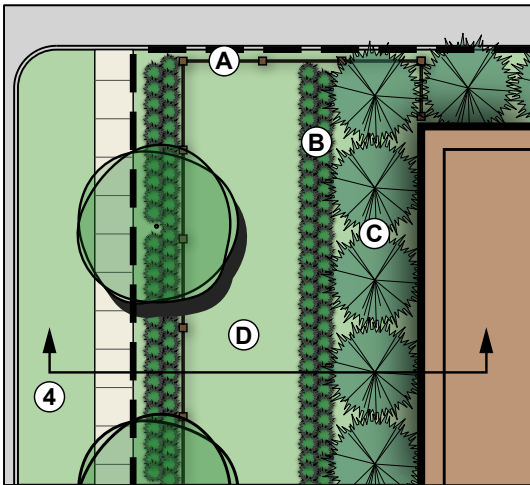


- Ⓐ 4' wide min. Low Hedge row
- Ⓑ Building access points

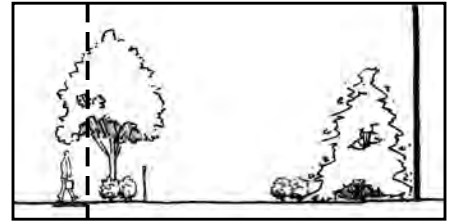


Section 3

### Buffer Yard Landscape Area:

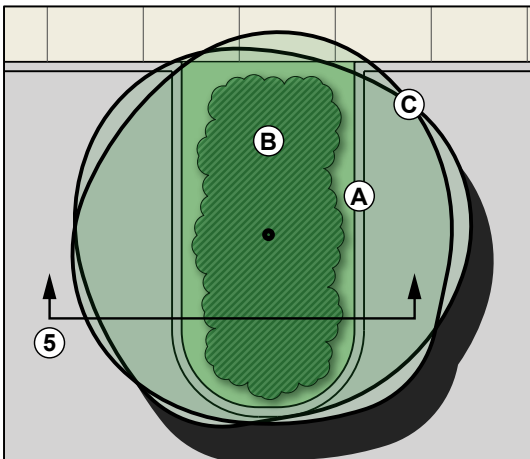


- Ⓐ 6' ornamental fence
- Ⓑ 4' wide min. Low Hedge row
- Ⓒ Building facade Evergreen Trees screening
- Ⓓ Turf lawn area



Section 4

### Parking Island:



- Ⓐ 6" curb raised from parking lot grade
- Ⓑ 5' min. width for groundcover
- Ⓒ 1 Large Shade Tree per 125 s.f. of Parking Island area



Section 5

# Landscape Materials

## Plant List:

### Large Deciduous Trees

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
AFC		Acer	x freemani 'Celzam'	Celebration Freeman Maple	2" cal.	40'
COC		Celtis	occidentalis	Hackberry	2" cal.	40'
FAA		Fraxinus	americana 'Autumn Purple'	White Ash	2" cal.	40'
FPP		Fraxinus	pennsylvanica 'Patmore'	Patmore Ash	2" cal.	40'
FPS		Fraxinus	pennsylvanica 'Summit'	Summit Ash	2" cal.	40'
GTS		Gleditsia	triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2" cal.	40'
GTI		Gleditsia	triacanthos inermis 'Skyline'	Skyline Honeylocust	2" cal.	40'
QBI		Quercus	bicolor	Swamp White Oak	2" cal.	40'
QMA		Quercus	macrocarpa	Bur Oak	2" cal.	40'
QBO		Quercus	borealis	Northern Red Oak	2" cal.	40'
TAR		Tilia	americana 'Redmond'	Redmond Linden	2" cal.	40'
TCG		Tilia	cordata 'Greenspire'	Littleleaf Linden	2" cal.	40'
UCH		Ulmus	carpinifolia 'Homestead'	Homestead Elm	2" cal.	40'

### Small Ornamental Trees

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
AGI		Acer	ginnala	Amur Maple	6' ht.	15'
		Amelachier	(various species)	Serviceberry varieties	6' ht.	15'
CCA		Cercis	canadensis	Eastern Redbud	1 1/2" cal.	15'
		Crataegus	(various species)	Hawthorn varieties	1 1/2" cal.	25'
		Malus	(various species)	Crabapple varieties	1 1/2" cal.	15'
		Prunus	(various species)	Cherry varieties	1 1/2" cal.	20'
SRI		Syringa	reticulata 'Ivory Silk'	Ivory Silk Japa	1 1/2" cal.	20'

### Evergreen Trees

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
ACO		Abies	concolor	White Fir	6' ht.	20'
PGD		Picea	glauca 'Densata'	Black Hills Spruce	6' ht.	20'
PPG		Picea	pungens 'Glaucia'	Colorado Spruce	6' ht.	20'
PNI		Picea	nigra	Austrian Pine	6' ht.	20'
PME		Pseudotsuga	menziesii	Douglas Fir	6' ht.	20'

### Low Deciduous Shrubs

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
CSK		Cornus	sercea 'Kelsey'	Kelsey's Redtwig Dogwood	15"	3' O.C.
FAD		Forsythia	Arnold 'Dwarf'	Arnold's Dwarf Forsythia	15"	3' O.C.
PFA		Potentilla	fruticosa 'Abbottswood'	Abbottswood Potentilla	15"	3' O.C.
PFT		Potentilla	fruticosa 'Tangerine'	Tangerine Potentilla	15"	3' O.C.
SBA		Spirea	bumalda 'Anthony Waterer'	Anthony Waterer Spirea	18"	4' O.C.
SBF		Spirea	bumalda 'Froebelli'	Froebel's Spirea	18"	4' O.C.
SJS		Spirea	japonica 'Shibori'	Shibori Japanese Spirea	18"	4' O.C.
SIC		Stephanadra	incisa 'Crispa'	Crispa Stephanandra	18"	4' O.C.
SCH		Symphoricarpos	x chenault 'Hancock'	Hancock Snowberry	18"	4' O.C.
VON		Viburnum	opulus 'Nana'	Dwarf European Cran. Viburnum	18"	4' O.C.

### Low Evergreen Shrubs

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
JHB		Juniperus	horizontalis 'Blue Chip'	Blue Chip Juniper	18"	
JHP		Juniperus	horizontalis 'plumosa'	Andorra Juniper	18"	
JST		Juniperus	sabina 'Tamariscifolia'	Tam Juniper	18"	



**Deciduous Shrubs\_Low Hedges**

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
CSI		Cornus	sericea 'Isanti'	Isanti Redtwig Dogwood	24"	3' O.C.
EAC		Euonymus	alatus 'Compactus'	Dwarf Winged Euonymus	24"	4' O.C.
FIL		Forsythia	x intermedia 'Lynwood Gold'	Lynwood Gold Forsythia	24"	4' O.C.
SNS		Spirea	nipponica 'Snowmound'	Snowmound Nippon Spirea	24"	3' O.C.
SCH		Symphoricarpos	x chenaultii	Chenault Coralberry	24"	4' O.C.
SPM		Syringa	patula 'Miss Kim'	Miss Kim Lilac	24"	4' O.C.
VJU		Viburnum	carlesii	Korean Spice Viburnum	24"	4' O.C.
VTs		Viburnum	trilobum 'Compactum'	Dwarf American Cranberrybush	24"	3' O.C.

**Evergreen Shrubs\_Low Hedges**

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
TMD		Taxus	x media 'Densiflora'	Dense Yew	24"	3' O.C.

**Deciduous Shrubs\_Tall Hedges**

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
AAL		Amelanchier	alnifolia	Saskatoon Serviceberry	36"	4' O.C.
AAR		Caragana	arborescens	Siberian Peashrub	36"	4' O.C.
CAC		Ligustrum	obustifolium 'Regelianum'	Regal Privet	36"	4' O.C.
LOR		Syringa	vulgaris varieties	Lilac varieties	36"	4' O.C.
VTR		Viburnum	trilobum	American Cranberrybush Viburnum	36"	4' O.C.
VLA		Viburnum	latana	Nannyberry	36"	4' O.C.

**Evergreen Shrubs\_Tall Hedges**

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
JSC		Juniperus	chinensis 'Spartan'	Spartan Upright Juniper	4'	4' O.C.
TMH		Taxus	x media 'Hicksii'	Hicks Yew	4'	4' O.C.
TOD		Thuja	occidentalis 'Nigra'	Dar Green American Arborvitae	4'	4' O.C.

**Groundcovers**

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
EFS		Euonymus	fortunei var. 'Coloratus'	Purple Wintercreeper Euonymus	1 qt.	12" o.c.
GOS		Galium	odoratum	Sweet Woodruff	Grow-Plug	12" O.C.
HEI		Hedera	helix	English Ivy	Grow-Plug	12" O.C.
PTJ		Pachysandra	terminalis	Japanese Pachysandra	Grow-Plug	12" O.C.
VMP		Vinca	minor	Periwinkle	4" pot	12" o.c.

**Perennials & Annuals**

Abbr.	No.	Genus	Species	Common Name	Min. Size	Max. Spacing
ATS		Asclepias	tuberosa	Butterfly Weed	Grow-Plug	18" o.c.
ALP		Aster	laevis	Smooth Blue Aster	4" pot	12" o.c.
		Hemerocallis	'Stella de Oro'	Stella de Oro' Daylily	1 qt.	12" o.c.
HMP		Heuchera	micrantha 'Palace Purple'	Palace Purple Coralbells	Grow-Plug	12" O.C.
HSE		Hosta	sieboldiana 'Elegans'	Elegans' Hosta	Grow-Plug	30" O.C.
LSG		Liatris	spicata	Gayfeather	Grow-Plug	12" O.C.
RFB		Rudbeckia	fulgida 'Goldstrum'	Black-eyed Susan	1 gal.	18" o.c.
SMN		Salvia	nemorosa 'May Night'	May Night Salvia'	1 gal.	24" o.c.
SAJ		Sedum	spectabile 'Autumn Joy'	Autumn Joy Stonecrop	1 gal.	24" o.c.
VSS		Veronica	spicata	Speedwell	1 gal.	12" o.c.
SC		Seasonal Color		Annuals	Square Feet	To Be Determined

# Landscape Materials

## Ornamental Fencing:

- Property line fencing should be used to beautify parking areas abutting the public right-of-way
- Fencing should reinforce the urban wall that is created by existing buildings
- The design and materials used for ornamental fencing should compliment the primary building and surrounding structures



Desirable Character



Desirable Character



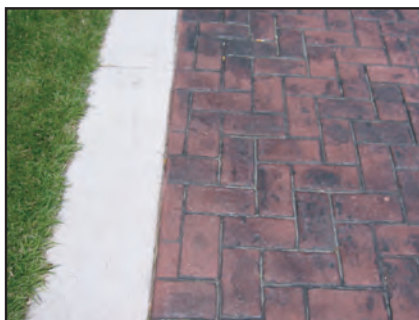
Desirable Character

## Decorative Pavers:

- Pavers should be used to identify significant outdoor spaces
- The type of paver should compliment the design of the primary building and create texture and contrast against public sidewalks
- Paver materials and details should compliment the public streetscape palette when possible



Desirable Character



Desirable Character



Desirable Character

### Planters:

- Raised planters should be used in open spaces to direct pedestrian flow through the plaza and to parking lots and building entrances
- Planters should be designed and landscaped to create comfortable seating and gathering areas
- The design of planters should compliment the character of the building and/or plaza in which they are located



Desirable Character



Desirable Character



Desirable Character





# APPENDIX A

## Design Submittal Requirements

The following drawings or material samples must be provided in order to adequately assess the quality of a design proposal:

***Site Plan*** illustrating:

- Primary and secondary frontage streets
- Existing or proposed alleys
- Property line
- Minimum/maximum setback lines
- Proposed building setback
- Setback of adjacent existing buildings
- Building access points
- Parking location and access
- On-site pedestrian circulation and access

***Building Elevations*** identifying:

- Materials
- Detail treatments
- Adjacent building context

***Typical Wall Section*** showing:

- Proposed commercial storefront elements
- Proposed upper story elements
- Window recesses and framing elements
- Roof line and parapet screen

***Awning and Signage Plan*** indicating:

- Location of awning and signage zone
- Planned allowable signage areas
- Dimensions of signage areas
- Awning design and materials

***Landscape Area Plan*** illustrating:

- Coded landscape areas as per the Design Guidelines

***Landscape Plan*** identifying:

- Proposed landscape and hardscape treatments within each landscape area
- List of plant materials
- List of hardscape materials
- Sample illustrations or photographs of hardscape elements



# APPENDIX B

## Design Checklist

### Site Planning, Massing, and Parking

<b>Site Planning and Access</b>	Minimum allowable setback on primary frontage for office or guest facilities	
	Minimum allowable setback on secondary frontage for office or guest facilities	
	Direct access to office or guest facilities from primary sidewalk	
<b>Parking Access</b>	Parking accessible from secondary frontage or rear alley	
	Cross-access easements with adjacent parking areas	
	Loading areas accessed from rear alley or screened access drive	
<b>Design Expression</b>	Vary roofline elevations to minimize profile and create interest	
	Facade is articulated on warehouse structures through structural or architectural elements	
	Flat or low-profile roof minimizes impact on surrounding uses	
	Facade is articulated on office/guest facilities to create pedestrian scale	
	Entrances are clearly articulated through architectural features and sidewalks	

### Architectural Design

<b>Office or Guest Facilities</b>		Knee wall	
		Office window frontage	
		Articulated entrances or eave overhangs	
		Exterior window details	
		Windows recessed min. 2" from pilasters	
		Decorative door	
<b>Manufacturing/Warehouse Facilities</b>		Material or structural elements are used to break up large facades	
		Facade details add interest and a sense of scale	
<b>Awnings and Signage</b>	<b>Wall Signage</b>	One wall sign per building facade	
		Signage area is integrated into the facade design	
		Signage area height is max. 48" tall	
		Total signage area on primary frontage facade is less than 60 sq. ft.	
		Side facade signage area is less than 40 sq. ft.	
	<b>Ground &amp; Monument Signage</b>	Signage is less than 4' tall along the public sidewalk	
		Signage is less than 8' tall in interior portions of the site	
		Signage is made of a material that complements the building design	
		Signage includes complimentary landscaping at its base	
	<b>Window Signage</b>	Business name or logo adhered to window	
		Max. window signage area of 5 sq. ft. per street frontage	
	<b>Pole Signage</b>	Max. pole height of 15' from grade to the bottom of the sign area	
		Max. signage area of 40 sq. ft.	
		Only commercial tenant names or logos may be shown on the sign	
	<b>Awnings</b>	Complimentary landscaping is at the base of the pole	
		Awning design reflects the general character of the building	
		Awnings match adjacent buildings in elevation	

## Building Materials

Office or Guest Facilities	<b>Desirable</b>	Brick, finished stone masonry units, or decorative metal	
		Windows-non-reflective, non-tinted	
		Awnings-fabric, metal, or decorative glass	
		Decorative door-wood or decorative glass	
	<b>Undesirable</b>	Reflective glass	
		Fiberglass or EIFS façade elements or kneewall	
		Back-lit awnings	
		Non-decorative metal frame door	
Manufacturing/ Warehouse Facilities	<b>Desirable</b>	Brick, finished stone masonry units, or decorative steel	
		Windows-non-reflective, non-tinted	
		Window frames-wood or metal	
		Decorative hoods and sills-match façade materials	
	<b>Undesirable</b>	Faux-brick façade finishes	
		Synthetic façade finishes (EIFS, stucco)	
		Horizontal or vertical slat siding	
		Shingle finishes	
		CMU	
		Natural or smooth stone finishes	
		Reflective glass	

## Landscape Design

Manufacturing/ Warehouse Frontage Landscape Area	6' ornamental fence	
	4' wide min. low hedge row	
	Large deciduous trees 25' O.C.	
	Appropriate plant materials used	
Office Frontage Landscape Area	4' wide min. low hedge row	
	Turf lawn area	
	8' height max. ground/monument sign	
	Signage planting area w/ low hedge row, groundcover, and/or perennials	
Building Edge Landscape Area	4' wide min. low hedge row	
	Appropriate plant and fence materials used	
Buffer Yard Landscape Area	6' ornamental fence	
	4' wide min. low hedge row	
	Building façade evergreen tree screening	
	Turf lawn area	
Parking Islands	Appropriate plant and fence materials used	
	6' curb raised from parking lot grade	
	5' min. width for groundcover	
	One large shade tree per 125 sq. ft. of parking island area	
	Appropriate plant and screen materials used	





# APPENDIX C

## Glossary of Terms

**awning, back lit** – lighting from within or behind an awning that illuminates portions of the awning surface

**awning and signage zone** – the portion of a commercial storefront from the top of the commercial window frame to the bottom of the commercial cornice

**commercial cornice** – horizontal decorative element dividing a building façade between the commercial frontage and the upper story façade, typically located immediately above the awning and signage zone

**commercial frontage** – the portion of the commercial storefront from the ground plane to the top of the commercial window frame, typically identified by the top of the door frame

**concrete masonry unit (CMU)** – any precast concrete block used for the construction of a building wall or surface

**decorative paver** – any modular stone or brick unit used to construct a walking or plaza surface

**Dryvit** – brand name manufacturer of EIFS

**Exterior insulation and finish system (EIFS)** – also called synthetic stucco, a synthetic exterior finish system used in lieu of traditional stucco or poured concrete building finishes

**faux-brick façade finish** – prefabricated panels designed to resemble real brick finishes, often resulting in façade seams

**hood, window** – decorative façade trim at the top of an exterior window

**knee wall** – also called a flood wall, an exterior building element at the base of a commercial storefront, typically 18”-24” tall and made of poured concrete or stucco

**manufacturing/warehouse facility** – the portion of an industrial facility dedicated to the production and/or storage of goods

**minimum allowable setback** – the minimum setback as defined for a particular parcel according to the municipal zoning ordinance

**office or guest facility** – the portion of an industrial facility dedicated to administrative, customer services, or office functions

**ornamental fence** – decorative physical barrier made of materials and designed in a way that reflects the character of the associated building or surrounding buildings and landscaping

**pilaster** – decorative vertical elements used to subdivide a façade, typically used to frame window areas, doors, or the structural grid of a building

**pole sign** – exterior freestanding site signage used to identify commercial tenants or parking areas, with a signage area supported by one or two columns

**primary frontage** – the portion of a site or building most directly related to and providing access from an arterial street or thoroughfare of high visibility

**primary sidewalk** – the public sidewalk running along an arterial or primary thoroughfare and providing most direct access to a building's primary frontage

**projecting sign** – a sign that identifies a commercial tenant or parking area, and is attached to the façade of a building, projecting out from the façade over the public sidewalk, typically perpendicular to the façade of the building

**raised planter** – landscaped area, typically enclosed by brick, stone or poured concrete and raised 6" to 24" above the ground plane, used to delineate pedestrian or vehicular circulation areas within a site

**roofline cornice** – horizontal decorative element at the roofline of a building, sometimes projecting out from the building façade 6"-12"

**screening fence** – opaque barrier used to provide a visual buffer between properties or structures

**seasonal planters** – temporary planter pots or boxes that may be dismantled or stored during the cold portions of the year

**secondary frontage** – the portion of a site or building most directly related to a side street or thoroughfare of relatively low visibility

**stone finish, natural** – façade finish made of naturally shaped stones with a dramatic texture and variant on stone shapes

**stone finish, smooth** – façade finish made of naturally shaped stones with a smooth texture and variant on stone shapes

**stone masonry unit** – precut modular units made of natural mineral rocks (i.e. granite or marble) and used as façade finishes or decorative elements

**upper story façade** – portion of a façade between the top of the commercial cornice and the bottom of the roofline cornice

**wall sign** – a sign identifying a commercial tenant or parking area, that is mounted on the façade of a building in such a way that the signage area does not project over the public sidewalk

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